

NEW CONSTRUCTION: 216 CHANDLER STREET

PROJECT LOCATION
216 CHANLDER STREET
WORCESTER, MA 01605

DEVELOPER
POLAR VIEWS
89 WEST MAIN STREET, UNIT 101
NORTHBOROUGH, MA 01532
MR DANIEL YARNIE
YARNIEPM@GMAIL.COM
(T) 774.479.1436

CIVIL ENGINEER
J.M. GRENIER ASSOCIATES, INC.
118 TURNPIKE ROAD, SUITE 200
SOUTHBOROUGH, MA 01772
MR JOHN GRENIER
JMGRENIER@TOWNISP.COM
(T) 508.845.2500

ARCHITECT
DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FIRST FLOOR
WORCESTER, MA 01608
MR. JESSE HILGENBERG
JHILGENBERG@DIXONSALOARCHITECTS.COM
(T) 508.755.0533

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ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

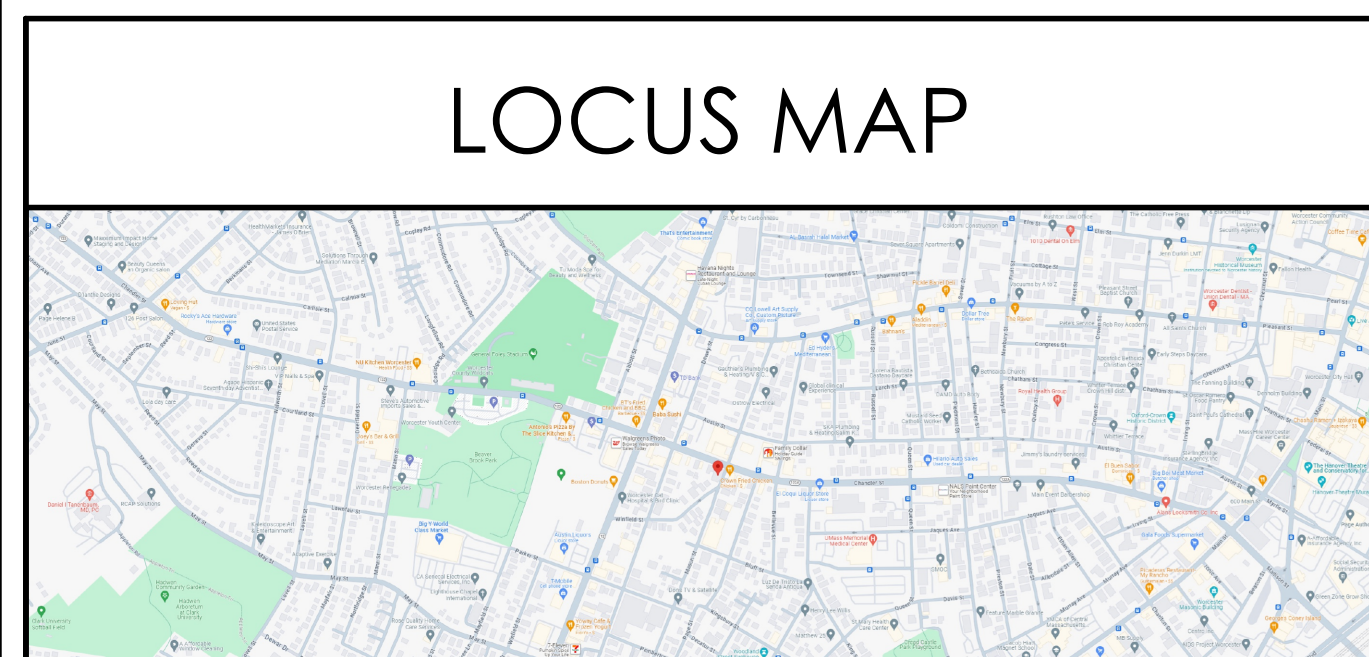
ABBREVIATIONS

A.C.T	ACOUSTICAL CEILING TILE	A.C.T	ACOUSTICAL CEILING TILE	MANUFACTURED	MFD
ACST	ACOUSTIC	AF	ABOVE FINISHED FLOOR	MAR	MARBLE
ALUM	ALUMINUM	ALUM	ALUMINUM	MAS	MASONRY
ARCH	ARCHITECT	ARCH	ARCHITECT	MAT	MATERIAL
AVG	AVERAGE	AVG	AVERAGE	MCHM	MASONRY OPENING
BM	BEAM	BM	BEAM	MCH	MASONRY
BD	BOARD	BD	BOARD	MCC	MASONRY
BR	BRASS	BR	BRASS	MML	MASONRY
BRE	BRONZE	BRE	BRONZE	MN	MASONRY
BLDG	BUILDING	BLDG	BUILDING	MNR	MASONRY
BLFH	BUILT IN	BLFH	BUILT IN	MNSC	MASONRY
CAB	CABINET	CAB	CABINET	MULL	MASONRY
CLG	CEILING	CLG	CEILING	MULL	MASONRY
CL	CENTER LINE	CL	CENTER LINE	MULL	MASONRY
CM	CENTIMETER	CM	CENTIMETER	MULL	MASONRY
CER	CERAMIC	CER	CERAMIC	MULL	MASONRY
CLR	CLEAR	CLR	CLEAR	MULL	MASONRY
CW	COLD WATER	CW	COLD WATER	MULL	MASONRY
COL	COLUMN	COL	COLUMN	MULL	MASONRY
CONC	CONCRETE	CONC	CONCRETE	MULL	MASONRY
CONM	CONCRETE MASONRY UNIT	CONM	CONCRETE MASONRY UNIT	MULL	MASONRY
CONSTR	CONSTRUCTION	CONSTR	CONSTRUCTION	MULL	MASONRY
CONTR	CONTRACTOR	CONTR	CONTRACTOR	MULL	MASONRY
DEM	DEMOLITION	DEM	DEMOLITION	MULL	MASONRY
DET	DETAIL	DET	DETAIL	MULL	MASONRY
DIA	DIAMETER	DIA	DIAMETER	MULL	MASONRY
DM	DIMENSION	DM	DIMENSION	MULL	MASONRY
DR	DOOR	DR	DOOR	MULL	MASONRY
DN	DOWN	DN	DOWN	MULL	MASONRY
DWG	DRAWING	DWG	DRAWING	MULL	MASONRY
DF	DRINKING FOUNTAIN	DF	DRINKING FOUNTAIN	MULL	MASONRY
EA	EACH	EA	EACH	MULL	MASONRY
ELEC	ELECTRIC	ELEC	ELECTRIC	MULL	MASONRY
EW	ELECTRIC WATER COOLER	EW	ELECTRIC WATER COOLER	MULL	MASONRY
EQ	EQUAL	EQ	EQUAL	MULL	MASONRY
EQP	EQUIPMENT	EQP	EQUIPMENT	MULL	MASONRY
EST	ESTIMATE	EST	ESTIMATE	MULL	MASONRY
EX	EXISTING	EX	EXISTING	MULL	MASONRY
EXT	EXTERIOR	EXT	EXTERIOR	MULL	MASONRY
FAB	FABRICATE	FAB	FABRICATE	MULL	MASONRY
OR FT	FEET	OR FT	FEET	MULL	MASONRY
FR	FRISH	FR	FRISH	MULL	MASONRY
FAO	FINISHED ALL OVER	FAO	FINISHED ALL OVER	MULL	MASONRY
FR	FIREPROOF	FR	FIREPROOF	MULL	MASONRY
FLR	FLOOR	FLR	FLOOR	MULL	MASONRY
FLUR	FLORESCENT	FLUR	FLORESCENT	MULL	MASONRY
FS	FULL SIZE	FS	FULL SIZE	MULL	MASONRY
FURN	FURNISH	FURN	FURNISH	MULL	MASONRY
GA	GAUGE	GA	GAUGE	MULL	MASONRY
GEN	GENERAL	GEN	GENERAL	MULL	MASONRY
GL	GLASS	GL	GLASS	MULL	MASONRY
GYP	GYPSUM BOARD	GYP	GYPSUM BOARD	MULL	MASONRY
HW	HARDWARE	HW	HARDWARE	MULL	MASONRY
HW	HARDWOOD	HW	HARDWOOD	MULL	MASONRY
HT	HEIGHT	HT	HEIGHT	MULL	MASONRY
HC	HOLLOW CORE	HC	HOLLOW CORE	MULL	MASONRY
HOR	HORIZONTAL	HOR	HORIZONTAL	MULL	MASONRY
HW	HOT WATER	HW	HOT WATER	MULL	MASONRY
IN	INSULATION	IN	INSULATION	MULL	MASONRY
INT	INTERIOR	INT	INTERIOR	MULL	MASONRY
JBOX	JUNCTION BOX	JBOX	JUNCTION BOX	MULL	MASONRY
LAV	LAVATORY	LAV	LAVATORY	MULL	MASONRY
LT	LIGHT	LT	LIGHT	MULL	MASONRY
LIC	LIGHTING	LIC	LIGHTING	MULL	MASONRY
LN	LINEAR	LN	LINEAR	MULL	MASONRY
LNO	LINOLEUM	LNO	LINOLEUM	MULL	MASONRY
MFR	MANUFACTURER	MFR	MANUFACTURER	MULL	MASONRY
GAUV	GALVANIZED	GAUV	GALVANIZED	MULL	MASONRY
GWB	GYPSUM WALL BOARD	GWB	GYPSUM WALL BOARD	MULL	MASONRY

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
	EARTH - LOAM	
	EARTH - FILL	
	GRAVEL	
	SAND	
	CONCRETE	
	CONCRETE MASONRY	
	BRICK	
	BITUMINOUS CONCRETE	
	BATT INSULATION	
	RIGID INSULATION	
	WOOD - FRAMING	
	WOOD - FINISH	
	PLYWOOD - SMALL SCALE	
	ACOUSTICAL TILE	
	STEEL	
	ALUMINUM	

LOCUS MAP



9/30/2024 7:00 AM

	SCHEMATIC	09.30.2024
	DESIGN DEVELOPMENT	
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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REVISION DATE		

DATE:	09.30.2024
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
MULTIFAMILY RESIDENTIAL BUILDING
216 CHANDLER STREET
WORCESTER, MA 01609

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1.0

GENERAL DEMOLITION NOTES

A. CONTRACTOR SHALL VISUALLY INSPECT THE SITE TO DETERMINE THE CONDITION OF EXISTING CONSTRUCTION AND FAMILIARIZE HIMSELF/HERSELF WITH THE PROPOSED WORK.

- ALL WORK SHALL COMPLY WITH MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS, LAWS AND ORDINANCES OF ALL THE AUTHORITIES HAVING JURISDICTION.
- DISCONNECTION OF UTILITIES REQUIRED BY THE WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL.
- ALL WORK IS TO COMPLY WITH APPLICABLE PROVISIONS OF ANSI CODE FOR BUILDING CONSTRUCTION: ANSI 10.6, SAFETY OF DEMOLITION.
- UTILITY LINES TO BE ABANDONED SHALL BE DISCONNECTED, REMOVE AS REQUIRED, AND/OR CAPPED OFF IN ACCORDANCE WITH APPLICABLE CODE AND REGULATIONS.
- REMOVE ALL AREAS SHOWN DASHED [TYPICAL] ON DEMOLITION PLANS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK OR ITEMS THAT ARE TO REMAIN, AS REQUIRED.
- COORDINATE DEMOLITION WORK WITH PROPOSED NEW WORK SHOWN ON PROJECT DRAWINGS.
- THE GENERAL CONTRACTOR SHALL NOT INTERFERE WITH NORMAL ACTIVITY IN OR ADJACENT TO THE BUILDING, AND IS SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO PREVENT EXCESSIVE DUST, AND NOISE, ACCESS AND EGRESS TO AND FROM THE EXISTING BUILDING AS WELL AS FIRE PROTECTION IS TO BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- PROVIDE ALL TEMPORARY SHORING BRACING, FRAMING, AND PROTECTION OF EXISTING WORK TO REMAIN BEFORE PROCEEDING WITH DEMOLITION AND DURING ALTERATION WORK.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL. NOTIFY ARCHITECT BEFORE REMOVING ANY STRUCTURAL MEMBERS. NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE THE DESIGN INTENT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- DEMOLITION PLANS ASSUME THAT PORTIONS OF EXISTING WIRING, PLUMBING, EQUIPMENT, DUCTWORK, ETC., IN AREAS OF NEW WORK WILL BE REQUIRED TO BE REMOVED/RELOCATED TO MEET THE REQUIRED DESIGN PARAMETERS OF THE NEW WORK. PRIOR TO COMMENCING DEMOLITION/RELOCATION, CONTRACTOR SHALL VERIFY SPECIFIC CONDITIONS IN THE FIELD AND COORDINATE WITH GC AND ARCHITECT. (SEE M.E.P. DEMOLITION NOTES.)
- BEFORE DISPOSING OF ANY REMOVED ITEMS, CONSULT WITH OWNER AND VERIFY POSSIBLE RE-USE, SALVAGE, OR DISPOSAL OF ANY EXISTING ITEMS AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PLUMBING, FIXTURES, EQUIPMENT, LIGHT FIXTURES AND DOORS, ETC.

B. CUTTING AND PATCHING

- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SUBCONTRACTORS, DEMOLITION CUTTING AND PATCHING
- ALL PARTITIONS, FLOORS, CEILINGS OR ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE PLANS, SECTIONS, AND DETAILS OR AS DIRECTED BY THE ARCHITECT.
- ALL EXISTING FLOORS, WALLS, AND CEILINGS AFFECTED BY NEW WALL LOCATIONS ARE TO BE PATCHED AND REPAIRED AS NECESSARY TO PROVIDE A SMOOTH UN-NOTICEABLE TRANSITION OF NEW AND EXISTING MATERIALS AND SURFACES.
- PROVIDE CUTTING AND PATCHING AS REQUIRED FOR ALL DEMOLITION AND ALTERATION WORK. CUTTING AND PATCHING INCLUDE CUTTING INTO OR THROUGH TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK, AND THE SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE THE CUT SURFACES TO THEIR ORIGINAL CONDITION.
- REMOVE EXISTING INTERIOR FINISHES AND MATERIALS AS REQUIRED TO ACCOMMODATE NEW WORK. ALL ITEMS ARE TO BE REMOVED IN A MANNER SO AS TO NOT DAMAGE THE EXISTING MATERIALS OR FINISHES THAT ARE TO REMAIN OR BE REINSTALLED.
- PERFORM DEMOLITION WORK CAREFULLY. REMOVE MASONRY, STEEL, CONCRETE, WALLS AND OTHER STRUCTURAL ELEMENTS IN SMALL SECTIONS, REMOVE THESE MATERIALS TO A CLEARLY CUT, STRAIGHT LINE, ACCURATELY ESTABLISHED.
- REMOVE FROM THE SITE AND DISPOSE OF LEGALLY. ALL EXISTING MATERIALS, DEMOLITION DEBRIS, TRASH, RUBBISH AND ITEMS THAT WILL NOT BE USED IN THE NEW WORK OR WILL NOT BE REUSED BY THE OWNER. STORAGE OF DEBRIS WILL NOT BE PERMITTED. ALL DEBRIS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- COORDINATE REMOVAL OF ANY RATED ASSEMBLIES WITH LOCAL OFFICIALS BEFORE COMMENCING WORK.

C. M.E.P. DEMOLITION NOTES

- SEE ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION DRAWINGS FOR LOCATION OF NEW UTILITIES AND DEMOLITION OF EXISTING WORK NOT SHOWN ON THESE PLANS. GC TO COORDINATE ALL WORK WITH SUBCONTRACTORS.
- WHERE EXISTING ELECTRICAL DEVICES OCCUR IN PARTITIONS INDICATED TO BE REMOVED, THE WIRING SHALL BE REMOVED, ALL ELECTRICAL LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT OR SYSTEM TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL SYSTEMS PRIOR TO THE COMMENCEMENT OF WORK.
- WHERE EXISTING PLUMBING LINES ARE TO BE REWORKED OR REMOVED, ALL PLUMBING LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT TO REMAIN IN PLACE.
- WHERE EXISTING HVAC LINES, DUCTWORK, ETC. ARE TO BE REWORKED, ALL LINES AND EQUIPMENT BEING DISCONNECTED SHOULD BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION TO THE EXISTING BUILDING EQUIPMENT OR SYSTEMS TO REMAIN.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF ALL NEW PENETRATIONS THRU ROOF, FLOORS, WALLS, AND CEILINGS.

D. CLEANING

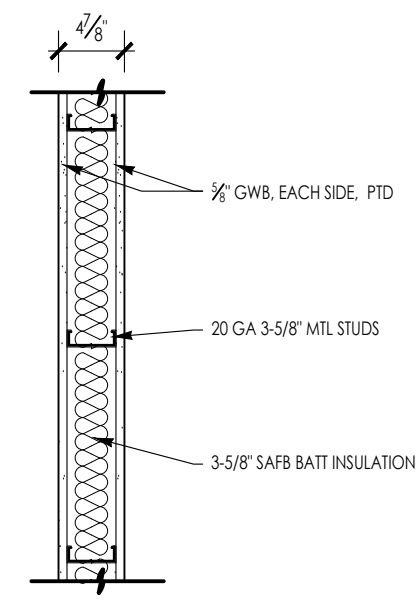
- CONTRACTOR IS FULLY RESPONSIBLE FOR THE CLEANING AND PREPARING OF ALL FLOOR, WALL AND CEILING SURFACES FOR THE INSTALLATION OF NEW MATERIALS AS SCHEDULED, UTILITIES, HVAC AND ELECT. SYSTEMS EQUIPMENT, ETC. AFTER DEMO CLEAN-UP.

OTHER: REMINDERS/SPECIFIC TO INDIVIDUAL PROJECTS

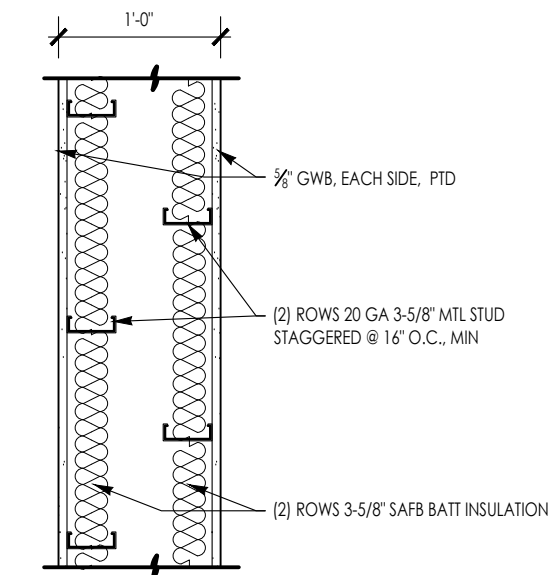
- EXISTING LARGE FLOOR OPENINGS TO BE FILLED ARE INDICATED. SMALLER PIPE HOLES, ETC., TO BE FILLED ARE NOT INDICATED ON THE DRAWINGS. REFER TO DETAILS FOR REQUIREMENTS FOR FILLING SAID OPENINGS.
- ALL EXISTING COLUMNS TO REMAIN UNLESS NOTED.
- ALL EXPOSED UNUSED PIPING AND CONDUITS SHALL BE REMOVED BY THE GENERAL CONTRACTOR. SEE SPECIFICATIONS FOR CAPPING.

GENERAL CONSTRUCTION NOTES

- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEM SELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE:** ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



A INTERIOR WALL ASSEMBLY
SCALE: 1" = 1'-0"



B PLUMBING WALL ASSEMBLY
SCALE: 1" = 1'-0"

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
300 MAIN STREET, SUITE 200, WORCESTER, MA 01609
(508) 755-0533 (F) 508-752-5348
ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

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GENERAL INFORMATION:

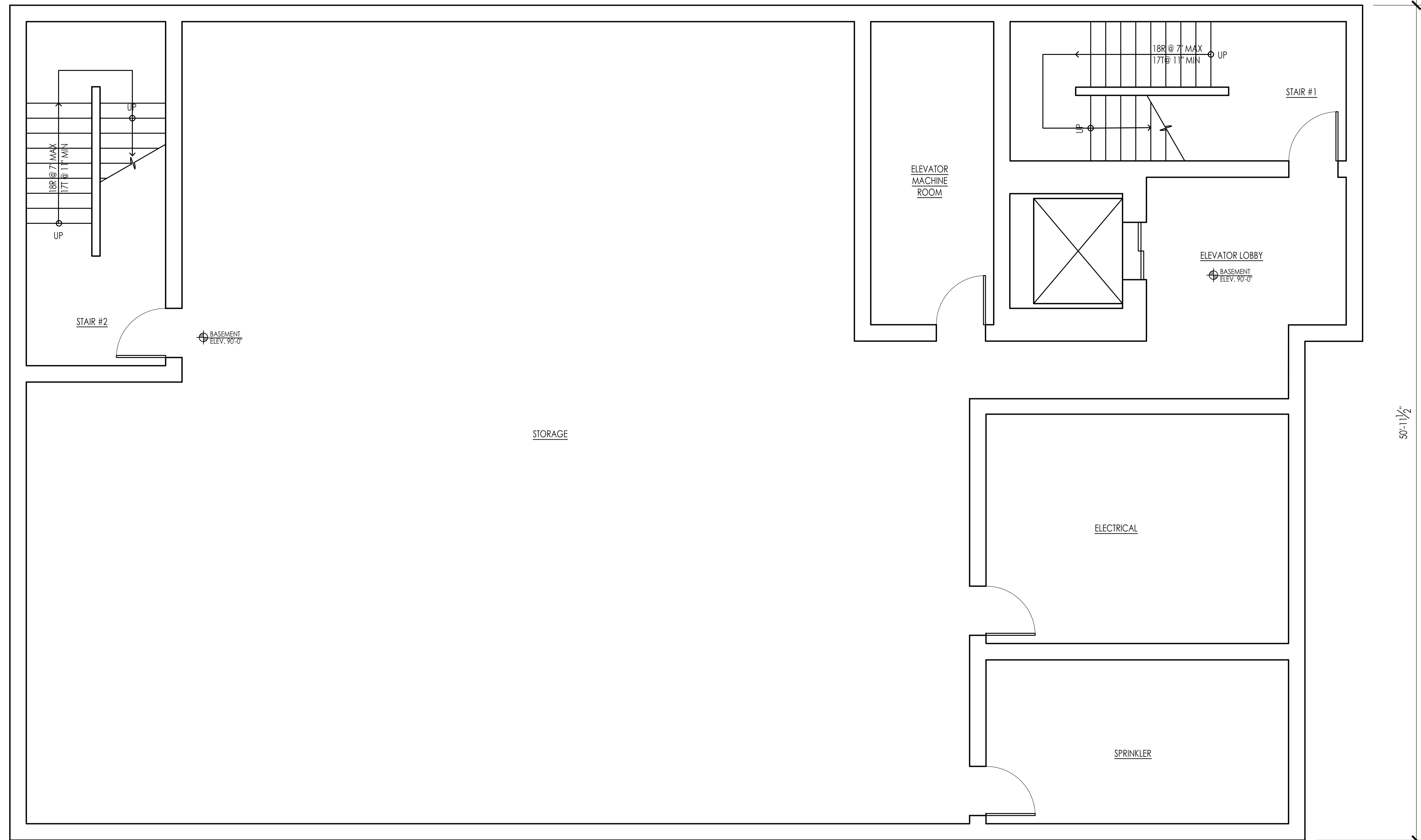
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SHEET TITLE:
GENERAL NOTES & DETAILS

SHEET NUMBER:
T-1.1



BASEMENT PLAN
SCALE: 1/8" = 1'-0" 1
A-1.0

ARCHITECT:







DIXON SALO ARCHITECTS
 INCORPORATED
 300 MAIN STREET, FIRST FLOOR
 WORCESTER, MASSACHUSETTS 01609
 (508) 752-5333 (F) 508-752-5368
 ADMIN@DIXONSALOARCHITECTS.COM

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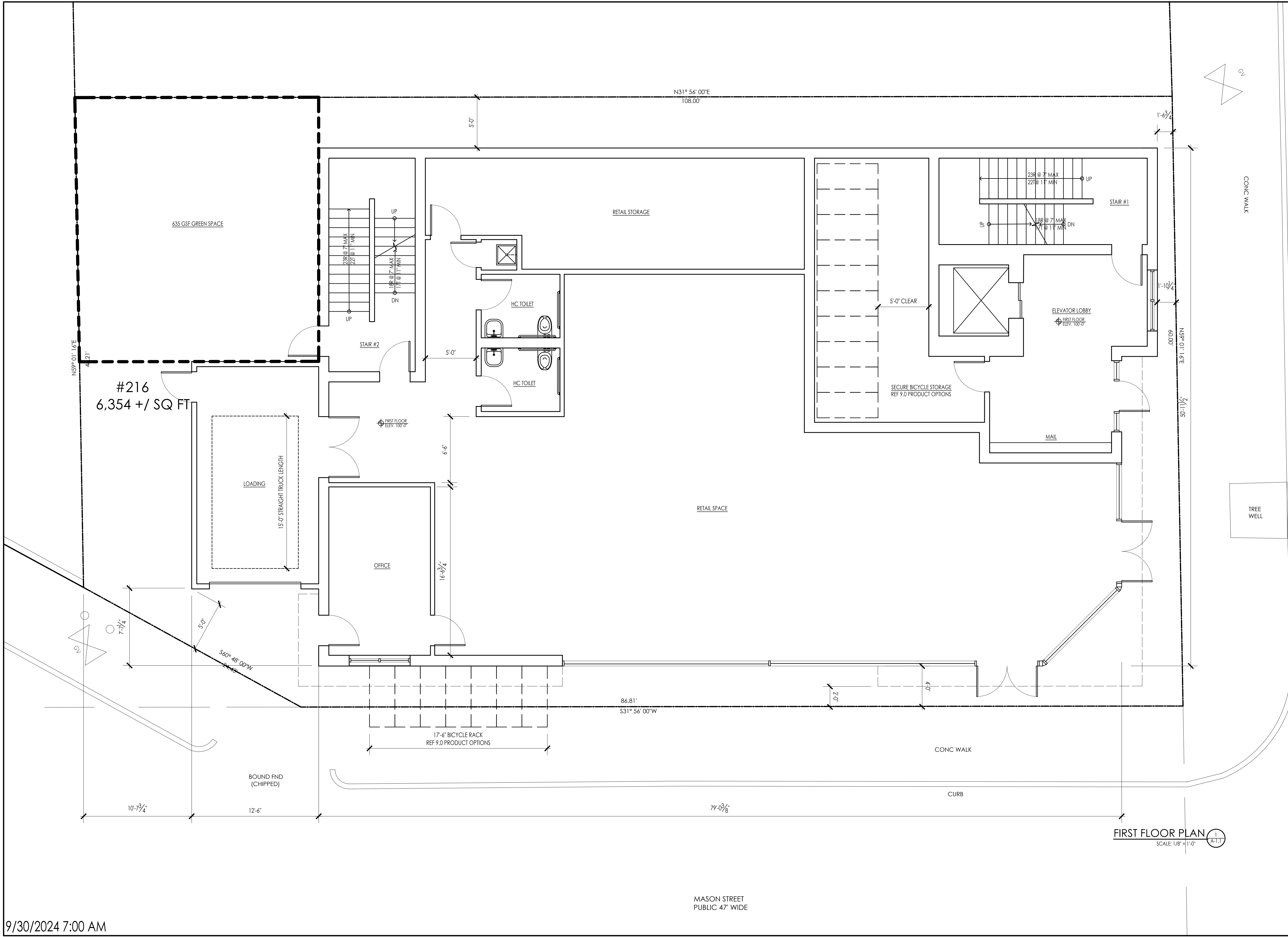
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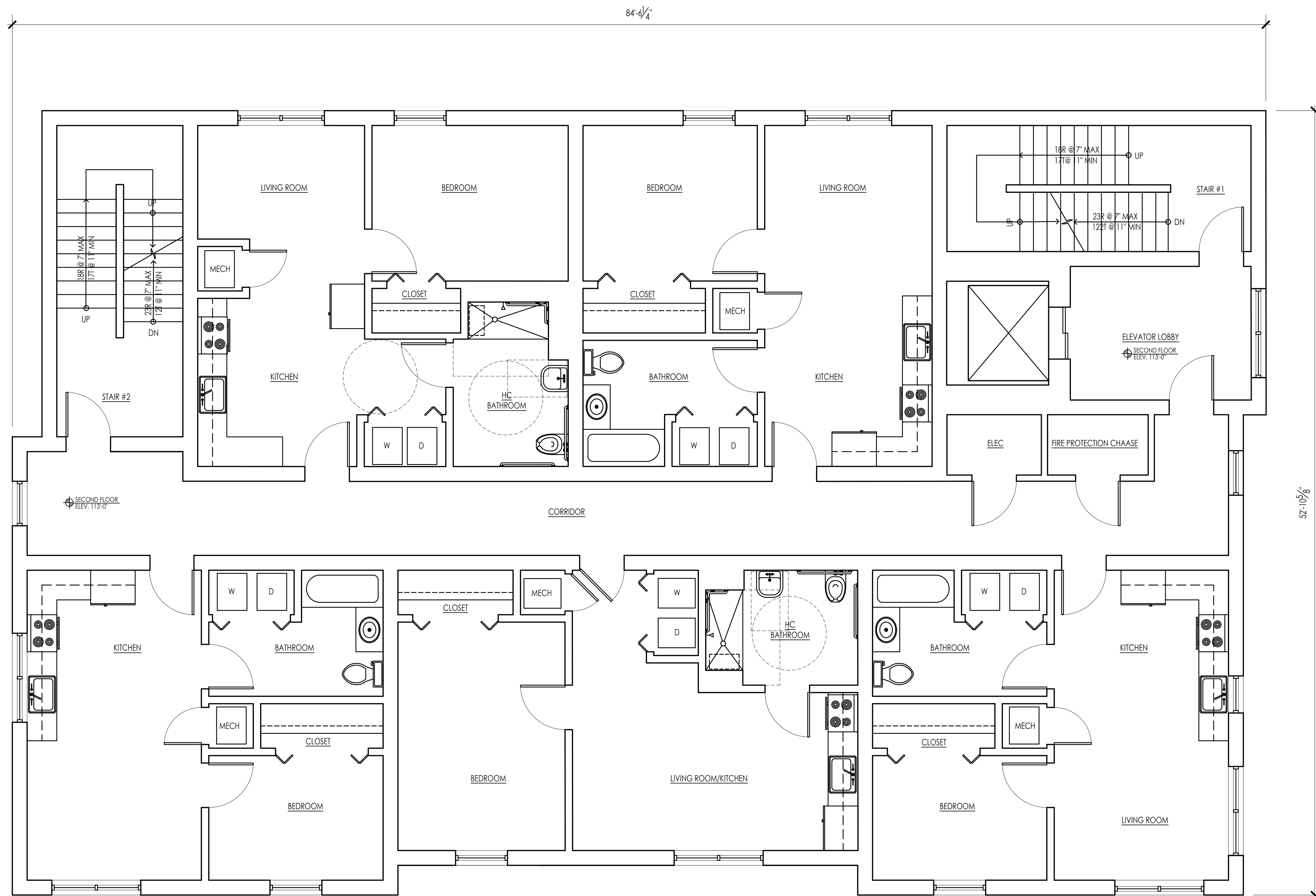
SHEET TITLE:
 PROPOSED FIRST FLOOR PLAN

SHEET NUMBER:

A-1.1



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN 1
SCALE: 1/8" = 1'-0" A-1.2

ARCHITECT:

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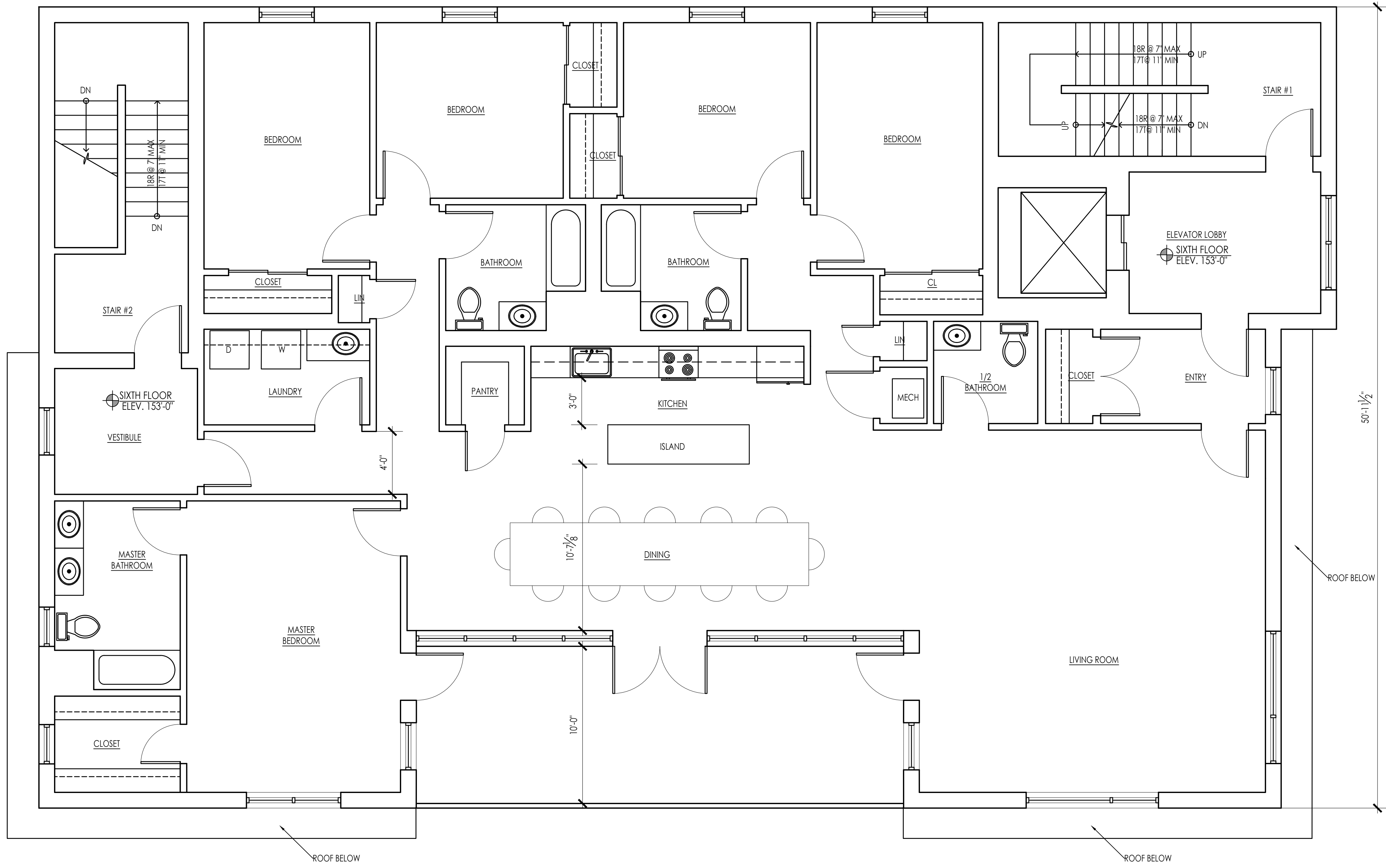
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PROJECT:	- -
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 MULTIFAMILY RESIDENTIAL BUILDING
 216 CHANDLER STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED SECOND THROUGH FIFTH
 FLOOR PLAN

SHEET NUMBER:

A-1.2



PROPOSED SIXTH FLOOR PLAN
SCALE: 1/8" = 1'-0" 1/16



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

■	SCHEMATIC	09.30.2024
□	DESIGN DEVELOPMENT	
□	BID	
□	PERMIT	
□	CONSTRUCTION	
□	EXISTING CONDITIONS	

4	
3	
2	
1	
	REVISION DATE

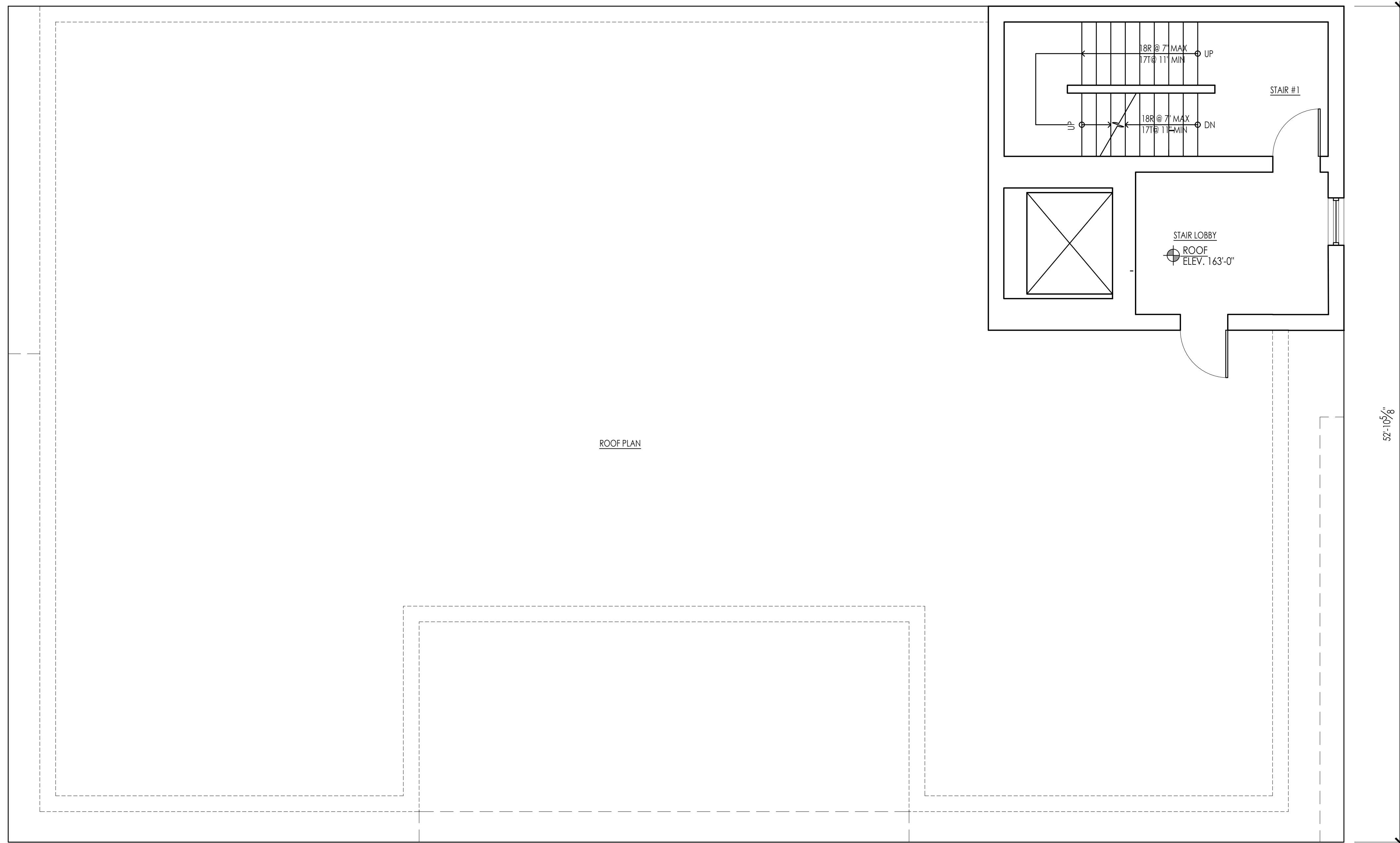
DATE:	09.30.2024
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
MULTIFAMILY RESIDENTIAL BUILDING
216 CHANDLER STREET
WORCESTER, MA 01609

SHEET TITLE:
PROPOSED SIXTH FLOOR PLAN

SHEET NUMBER:

A-1.6



ROOF PLAN
SCALE: 1/8" = 1'-0" 1/1.5



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

- SCHEMATIC 09.30.2024
- DESIGN DEVELOPMENT
- BID
- PERMIT
- CONSTRUCTION
- EXISTING CONDITIONS

4	
3	
2	
1	
	REVISION DATE

DATE: 09.30.2024
SCALE: AS NOTED
PROJECT: - -
DRAWN: PL
CHECKED: JGH

PROJECT TITLE:
MULTIFAMILY RESIDENTIAL BUILDING
216 CHANDLER STREET
WORCESTER, MA 01609

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:







A-1.5

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHMATIC	09.30.2024
	DESIGN DEVELOPMENT	
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

4	
3	
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	REVISION DATE

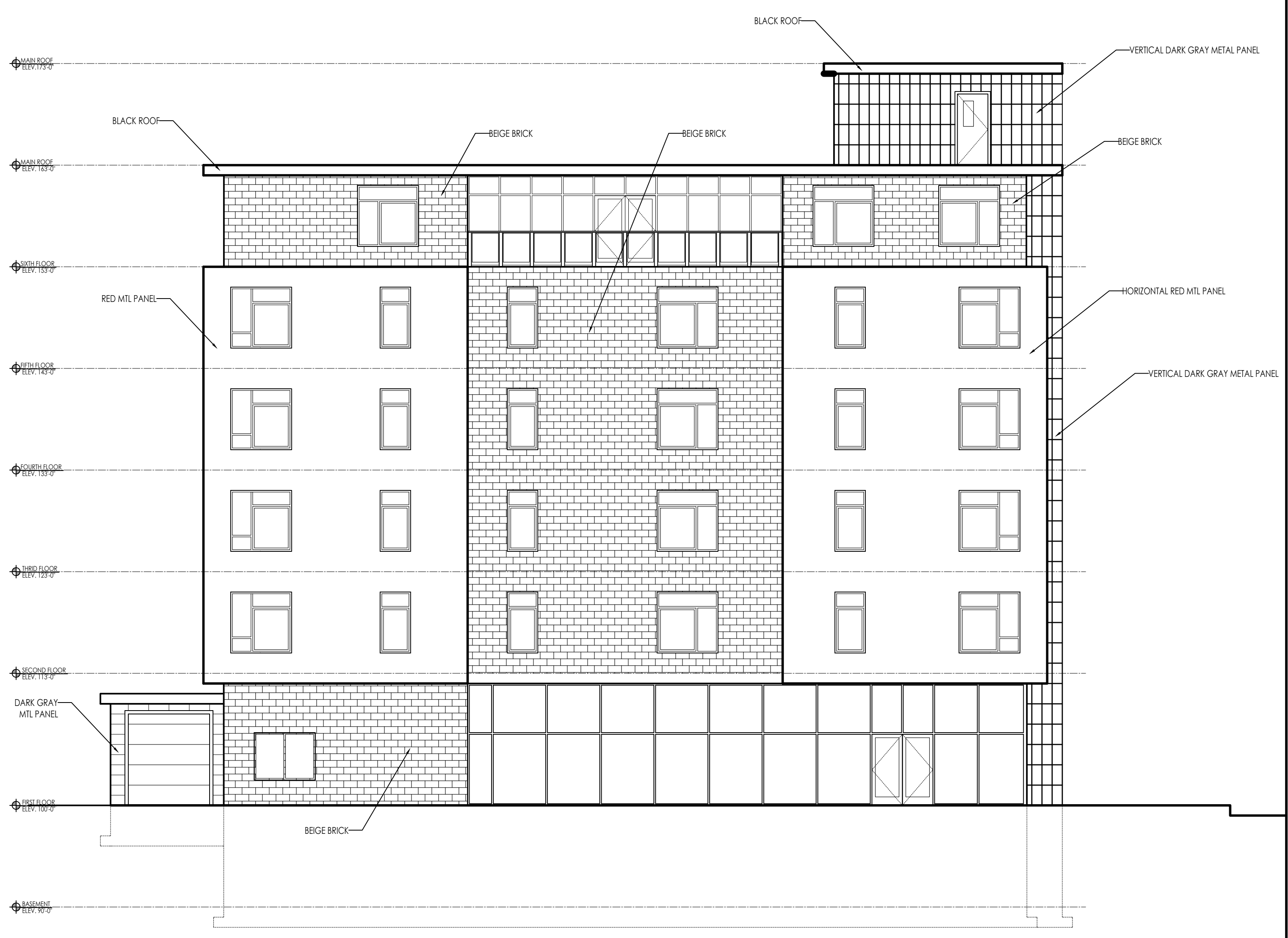
DATE:	09.30.2024
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 MULTIFAMILY RESIDENTIAL BUILDING
 216 CHANDLER STREET
 WORCESTER, MA 01609

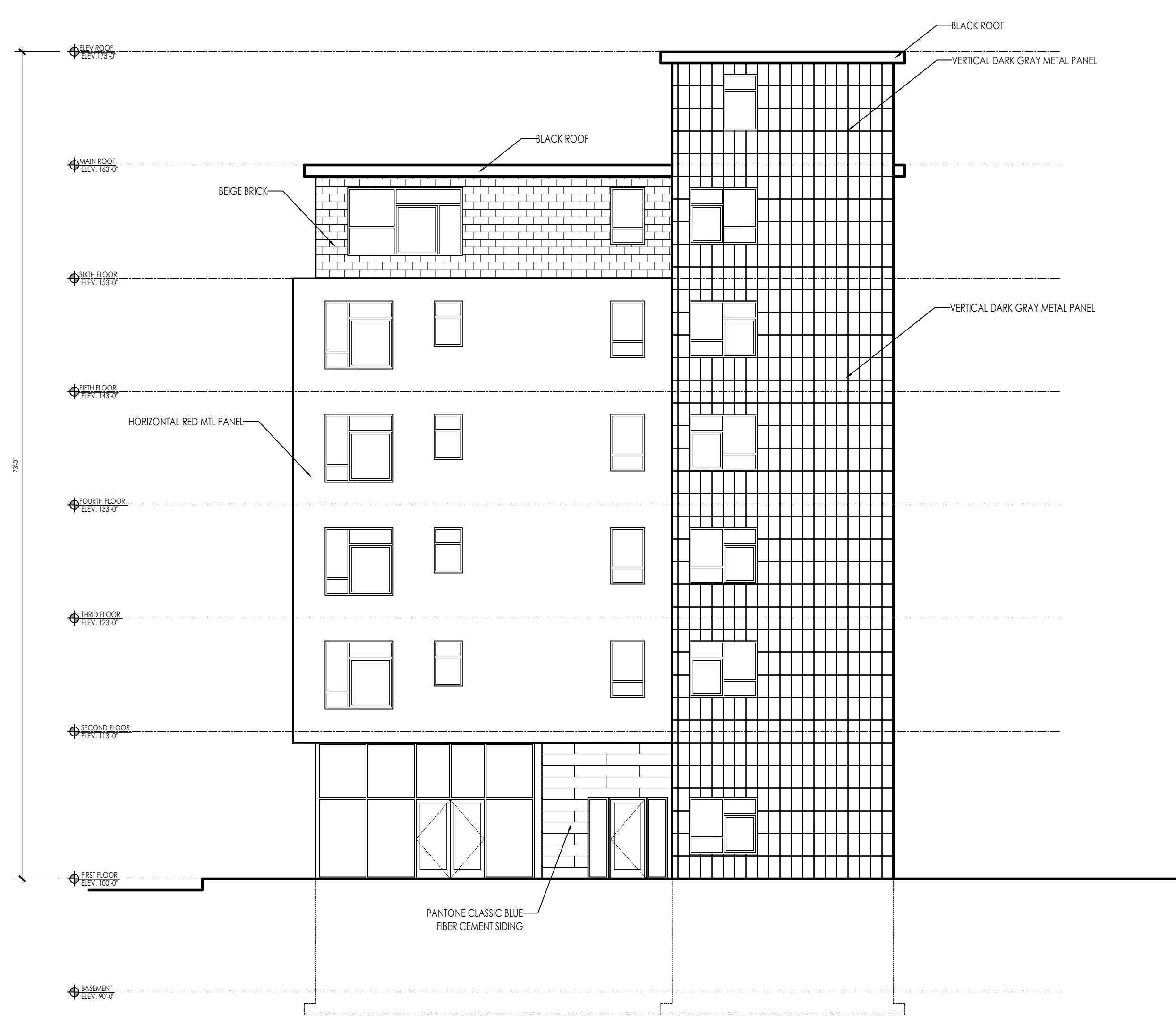
SHEET TITLE:
 EAST & NORTH ELEVATIONS

SHEET NUMBER:

A-2.1



EAST (MASON STREET) ELEVATION 1
 SCALE: 1/8" = 1'-0" (A-2.1)



NORTH (CHANDLER STREET) ELEVATION 2
 SCALE: 1/8" = 1'-0" (A-2.1)

EXTERIOR LOCKABLE BIKE RACK OPTIONS:



INTERIOR LOCKABLE BIKE RACK OPTIONS:



ARCHITECT:

DIXON SALO ARCHITECTS
 INCORPORATED
FIRST FLOOR
 300 MAIN STREET
 WORCESTER, MASSACHUSETTS
 01508-7250-0333 (C) 508-772-5368
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

- SCHEMATIC 09.30.2024
- DESIGN DEVELOPMENT
- BID
- PERMIT
- CONSTRUCTION
- EXISTING CONDITIONS

4	
3	
2	
1	
	REVISION DATE

DATE: 09.30.2024
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 MULTIFAMILY RESIDENTIAL BUILDING
 216 CHANDLER STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PRODUCT OPTIONS

SHEET NUMBER:

A-9.0

